

RECEIVED

MIAMI-DADE COUNTY
PROCESS NO.: E24-021
DATE: NOV 7 2024
BY: ISA

DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES

APPLICATION FOR ENTRANCE FEATURE

DEVELOPMENT SERVICES DIVISION
111 N.W. 1ST STREET, 11TH FLOOR
MIAMI, FL 33128
PH. (305) 375-2141

E2024000021

Entrance Feature No.: _____ Tentative No.: _____

Plat Name _____

Sec. _____ Twp. _____ Rge. _____

Property Location: RIGHT-OF-WAY OF ASSOCIATION ENTRANCE SW 124TH STREET
BETWEEN 96TH AND 97TH AVENUE, MIAMI, FLORIDA 33176

Zoning: EU-M SINGLE FAMILY ESTATE
MODIFIED USE ZONING DISTRICT District: _____

Owner: OAK RIDGE ASSOCIATION

Owner's Email: kelly@fostercompany.net

Owner's Address: RIGHT-OF-WAY OF ASSOCIATION ENTRANCE SW 124TH STREET
BETWEEN 96TH AND 97TH AVENUE, MIAMI, FLORIDA 33176

Owner's Phone: 305-254-7228 x: 204

Contact person: Frank Anaya

Contact's Email: info@olympus-cm.com

Contact's Address: 1429 SW 1st Street 1st Floor, Miami FL 33135

Contact's Phone: 786-484-6674

Please note that this application must be submitted to the Department of Regulatory and Economic Resources on the 11th floor with the processing check made payable to the "Miami-Dade County".

FOR OFFICIAL USE ONLY

Check No: _____

Bank: _____

Date received: _____

RECEIVED

MIAMI-DADE COUNTY **ZONING APPLICATION FOR ADMINISTRATIVE**
PROCESS NO.: E24-021 **APPROVAL OF ENTRANCE FEATURE**
DATE: NOV 7 2024
BY: ISA

MIAMI-DADE COUNTY

Sec. _____ Twp. _____ Rge. _____

E2024000021

Fee: _____

FOLIO# 30- **30-5016-0610-450**

Date Received Stamp

This application with all required supplemental data, information and fee must be completed in accordance with the attached "INSTRUCTIONS FOR FILING APPLICATION FOR ENTRANCE FEATURE" and returned to the MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES, the Zoning Hearings Section.

TYPE OR PRINT LEGIBLY ALL INFORMATION ON APPLICATION:

1) Applicant Olympus Construction Management Phone 7864846674
Mailing Address 1429 SW 1st Street 1st Floor, City Miami State FL Zip 33135
Email Address info@olympus-cm.com

2) Owner of Property OAK RIDGE ASSOCIATION Phone 305-254-7228 x: 204
Mailing Address 9600 SW 124 Street City MIAMI State FL Zip 33176
Email Address kelly@fostercompany.net

3) Contact Person Frank Anaya Phone 7864846674
Mailing Address 1429 SW 1st Street 1st Floor, City MIAMI State FL Zip 33135
Email Address info@olympus-cm.com

4) LEGAL DESCRIPTION OF THE PROPERTY COVERED BY THE APPLICATION:

RIGHT-OF-WAY OF ASSOCIATION ENTRANCE SW 124TH STREET BETWEEN 96TH AND 97TH
AVENUE, MIAMI, FLORIDA 33176

5) SIZE OF PROPERTY: 9400 x SFT

6) Address or location of subject property 9600 SW 124 Street

7) Present Zoning Classification(s) EU-M SINGLE FAMILY ESTATE MODIFIED USE ZONING DISTRICT

8) Is this Entrance Feature being requested as a result of a violation notice or summons? NO

OAK RIDGE ESTATES II ENTRANCE IMPROVEMENTS

9600 SW 124TH STREET,
MIAMI, FLORIDA 33176

SUBMITTAL GRAPHIC SYMBOLS

NEW	
REVISED	X
RE-ISSUED WITHOUT REVISION	
PREVIOUSLY SUBMITTED	

10.18.2024
APPLICATION

INDEX OF DRAWINGS

ARCHITECTURAL	
A001	COVER
A002	MICROFILMS
A101	SITE PLAN
A201	GUARDHOUSE
A301	GATES
A401	TRELLIS

PROJECT GENERAL DATA & CODE SUMMARY

NAME OF PROJECT: OAK RIDGE ESTATES II ENTRANCE IMPROVEMENTS
 LOCATION: 9600 SW 124TH STREET, MIAMI, FLORIDA 33176
 OWNER: OAK RIDGE ASSOCIATION
 USE: RESIDENTIAL
 CODE ENFORCEMENT JURISDICTION: FLORIDA FIRE PREVENTION CODE 2023 (FFPC) 8TH EDITION
 FLORIDA BUILDING CODE (FBC) 8TH EDITION (2023)
 FLORIDA BUILDING CODE RESIDENTIAL 2023 (FBCR) 8TH EDITION
 NFPA 1, 2021 EDITION, "FIRE CODE"
 NFPA 101, 2018 EDITION, "LIFE SAFETY CODE"
 MIAMI DADE COUNTY ZONING CODE

ZONING DATA

ZONING DISTRICT: EU-M SINGLE FAMILY ESTATE MODIFIED USE ZONING DISTRICT
 FOLIO NUMBER: 30-5016-061-0450



NOMAD ARCHITECTURAL STUDIO

RAUL CRUZ, AIA, NCARB
ARCHITECT
 (786) 738-7895
rcruz@nomadarchitecturalstudio.com

OLYMPUS CONSTRUCTION MANAGEMENT

FRANK ANAYA, P.E.
GENERAL CONTRACTOR
 (786) 484-6674
fanaya@olympus-cm.com



© 2024 - NOMAD ARCHITECTURAL STUDIO, LLC
 THE DESIGN AND DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED UNDER THE COPYRIGHT PROTECTION ACT.
 ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED, DUPLICATED &/OR USED WITH THE WRITTEN CONSENT OF NOMAD ARCHITECTURAL STUDIO, LLC.

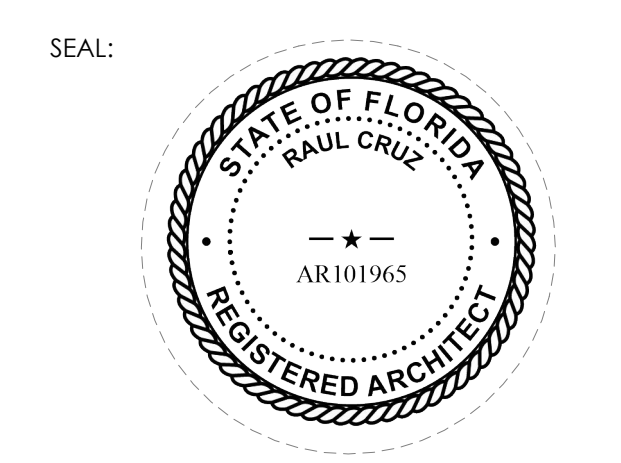
OAK RIDGE ESTATES II ENTRANCE IMPROVEMENTS
 9600 SW 124TH STREET, MIAMI, FLORIDA 33176
 OAK RIDGE ASSOCIATION

PROJECT NAME
 PROPERTY ADDRESS
 OWNER INFORMATION

ENTRANCE FEATURES

ISSUE DATE: 10.18.2024
 PROJECT No.: 23-030
 DRAWN BY: RAUL CRUZ
 APPROVED BY: RAUL CRUZ

NO.	DESCRIPTION	DATE



SIGNATURE:
RAUL CRUZ AR-101965
 SHEET TITLE:

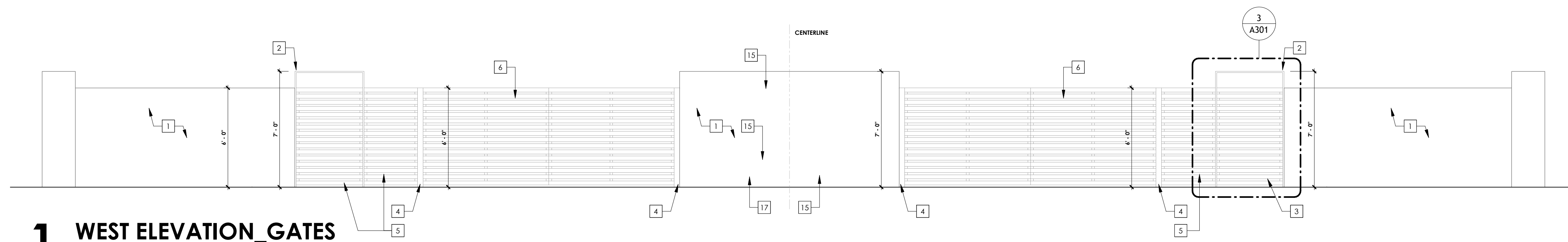
COVER

SCALE: 1" = 160'-0"
 SHEET No.:

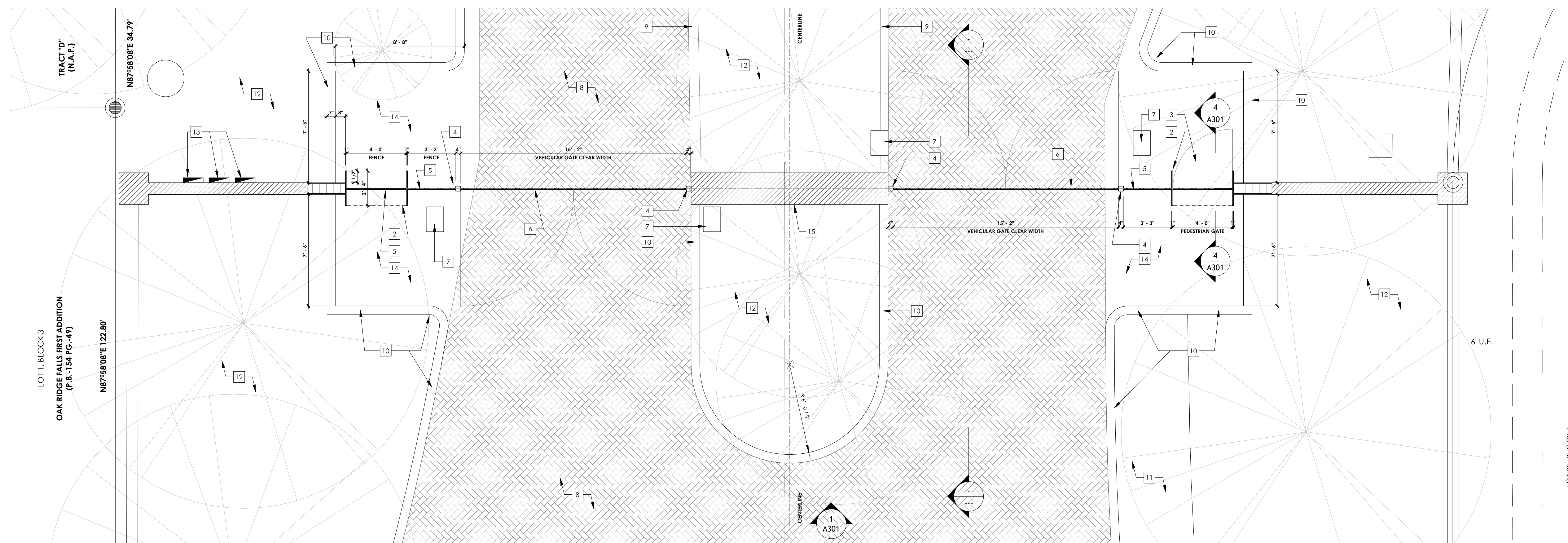
A001



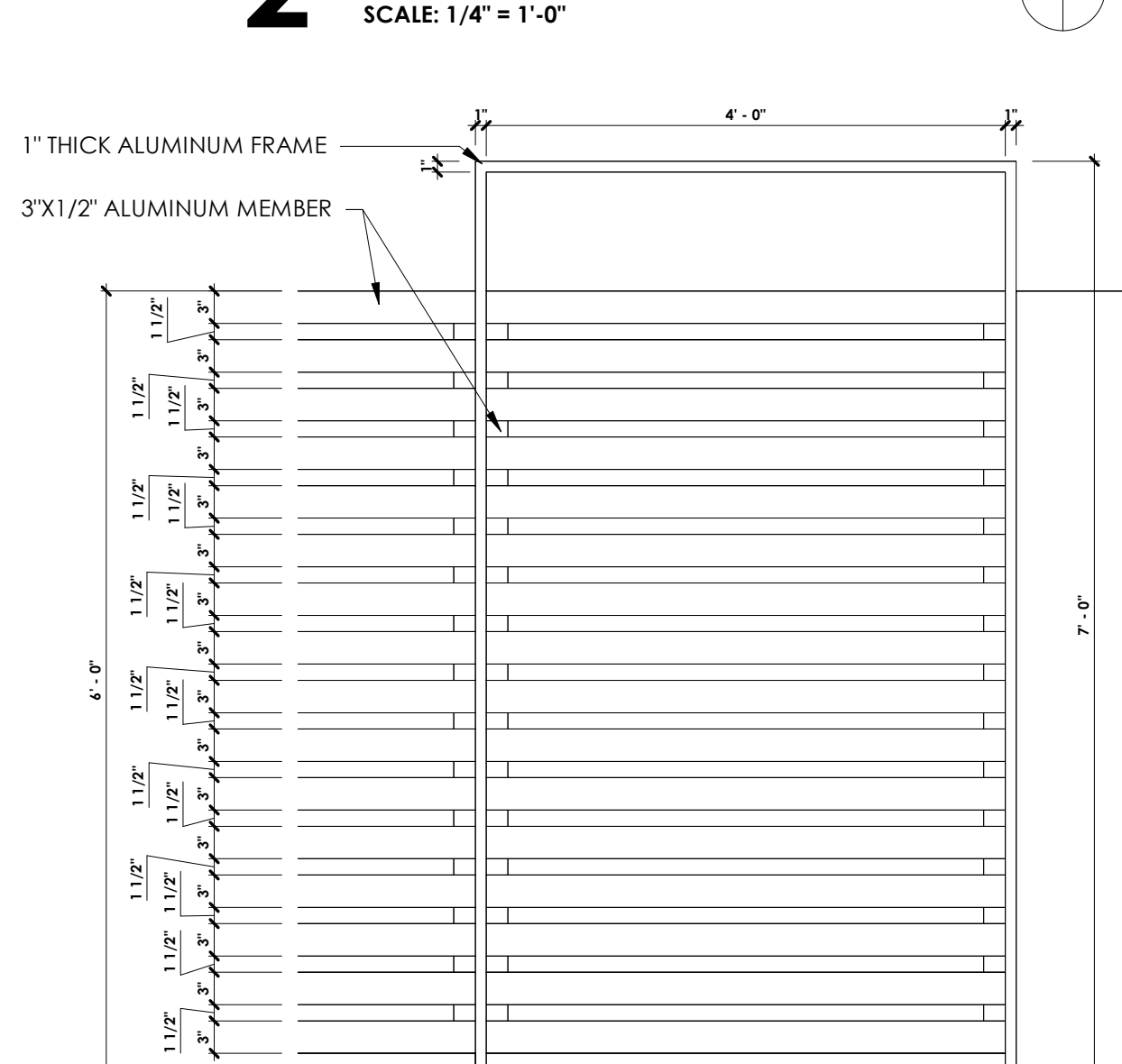
© 2024 - NOMAD ARCHITECTURAL STUDIO, LLC
 THE DESIGN AND DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED UNDER THE COPYRIGHT PROTECTION ACT.
 ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED, DUPLICATED, OR USED WITH THE WRITTEN CONSENT OF NOMAD ARCHITECTURAL STUDIO, LLC.



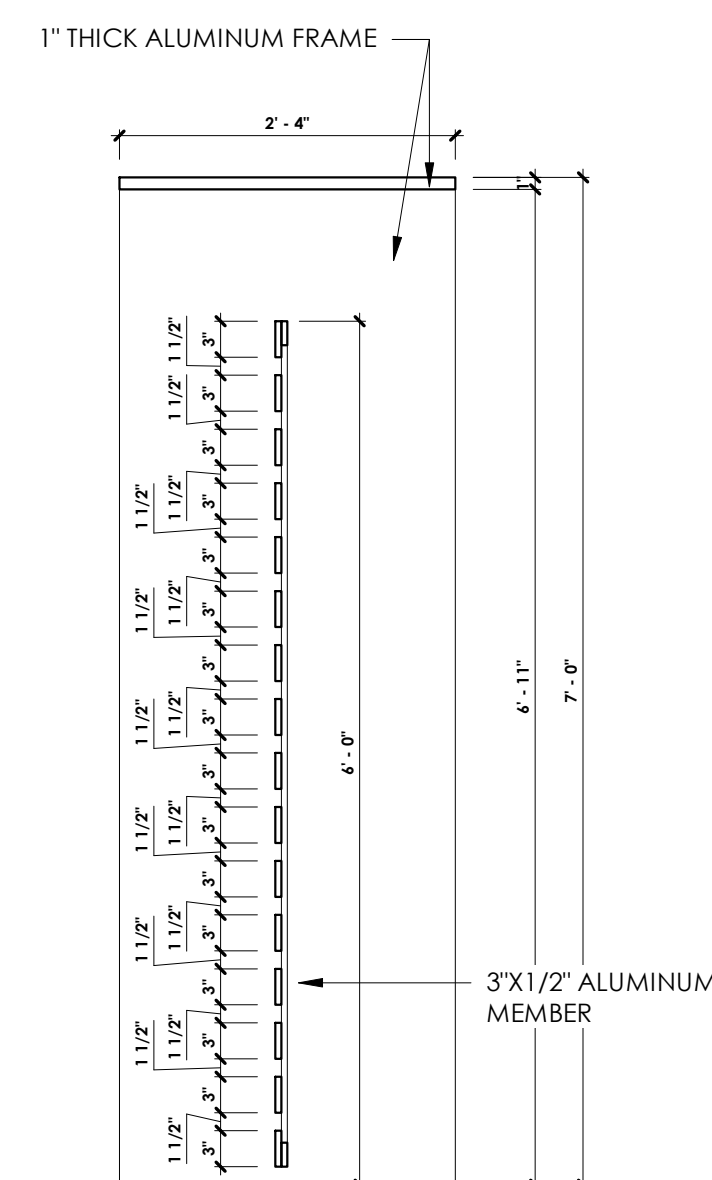
NOTE:
 REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
 GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR A/E APPROVAL BEFORE CONSTRUCTION.



2 FLOOR PLAN_GATES
 SCALE: 1/4" = 1'-0"



3 GATE ELEVATION DETAIL
 SCALE: 3/4" = 1'-0"



4 SECTION D
 SCALE: 3/4" = 1'-0"

WALL LEGEND

- EXISTING WALL
- NEW 8" CMU WALL

NOTES

- GENERAL CONTRACTOR SHALL FOLLOW THE TILE COUNCIL OF NORTH AMERICA INSTALLATION GUIDELINES FOR ALL TILE AND STONE INSTALLATION THROUGHOUT. COEFFICIENT OF FRICTION FOR WET INTERIOR TILES SHALL BE 0.42 PER THE TILE COUNCIL OF NORTH AMERICA.
- NEW PLUMBING FIXTURES ARE SHOWN FOR LOCATION PURPOSES ONLY. PLUMBING FIXTURE SELECTION SHALL BE COORDINATED BY GENERAL CONTRACTOR WITH OWNER.
- NO SUBSTITUTIONS ALLOWED, UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
- ANY DISCOVERED FIELD CONDITIONS REQUIRING DEVIATIONS FROM THESE DOCUMENTS MUST BE SUBMITTED TO THE A/E BY RFI FROM THE GENERAL CONTRACTOR FOR A/E RESOLUTION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEVIATIONS & IS AT FURTHER RISK IF DEVIATIONS ARE DONE WITHOUT WRITTEN A/E ACCEPTANCE.
- REFER TO MEP DRAWINGS FOR OUTLET AND SWITCH INFORMATION.
- GENERAL CONTRACTOR AND SHELL CONTRACTOR SHALL COORDINATE PROFILES OF ALL COLUMNS AND BEAMS BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS. SHALL ANY DISCREPANCIES BE DISCOVERED, CONTRACTOR SHALL NOTIFY TO ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.
- ALL LIGHTS FIXTURES TO BE SELECT BY OWNERS AND INSTALLED BY GENERAL CONTRACTOR
- PROVIDE KNOX BOX FOR THE VEHICLAR GATES AS REQUIRED

KEY NOTES

- NEW SMOOTH STUCCO ON EXISTING OR NEW EXTERIOR WALL
- NEW 1" THICK METAL FRAME ON PEDESTRIAN GATE
- 4" WIDE ALUMINUM PEDESTRIAN GATE
- 6"x6" ALUMINUM POST
- 6' HIGH ALUMINUM FENCE
- AUTOMATIC VEHICULAR GATES
- NEW GATE MOTORS ON EXISTING LOCATIONS. REFER TO ELECTRICAL DRAWINGS
- NEW CONCRETE PAVERS ROAD
- CONCRETE CURB TO BE REPAIRED OR REPLACED AS REQUIRED
- NEW CONCRETE CURB TYPE "D"
- NEW CONCRETE WALKWAY
- EXISTING TREES AND LANDSCAPE AREA TO REMAIN
- EXISTING ELECTRICAL PANELS AND METER TO REMAIN
- CONCRETE FLOOR FINISH

PROJECT NAME:

OAK RIDGE ESTATES II ENTRANCE IMPROVEMENTS

PROPERTY ADDRESS:

9600 SW 124TH STREET,
 MIAMI, FLORIDA 33176

OWNER INFORMATION:

OAK RIDGE ASSOCIATION

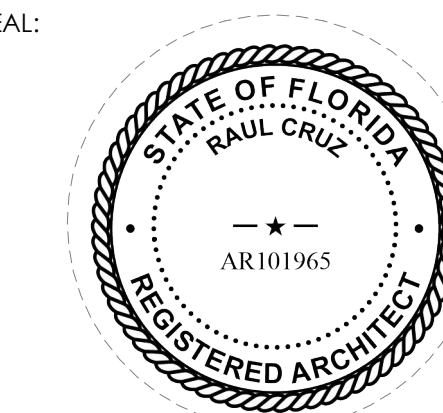
ENTRANCE FEATURES

ISSUE DATE: 10.18.2024
 PROJECT No.: 23-030
 DRAWN BY: RAUL CRUZ
 APPROVED BY: RAUL CRUZ

REVISIONS:

No.	Description	Date

SEAL:



SIGNATURE:
 RAUL CRUZ AR-101965

SHEET TITLE:

GATES

SCALE: As indicated

SHEET No.:

A301

ARCHITECT:

NOMAD

© 2024 - NOMAD ARCHITECTURAL STUDIO, LLC
 THE DESIGN AND DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF THIS ARCHITECT AND ARE PROTECTED UNDER THE COPYRIGHT PROTECTION ACT.
 ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED, DUPLICATED, A/COR USED WITH THE WRITTEN CONSENT OF NOMAD ARCHITECTURAL STUDIO, LLC.

OAK RIDGE ESTATES II ENTRANCE IMPROVEMENTS

6000 SW 124TH STREET,
 MIAMI, FLORIDA 33176

OAK RIDGE ASSOCIATION

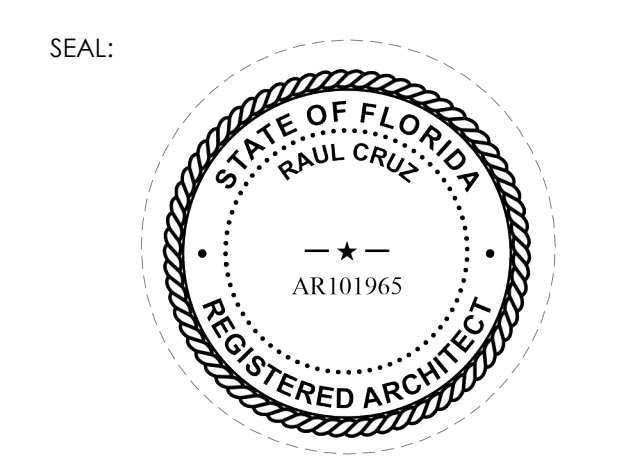
PROJECT NAME
 PROPERTY ADDRESS
 OWNER INFORMATION

ENTRANCE FEATURES

ISSUE DATE: 10.18.2024
 PROJECT No.: 23-030
 DRAWN BY: RAUL CRUZ
 APPROVED BY: RAUL CRUZ

REVISIONS:

No.	Description	Date

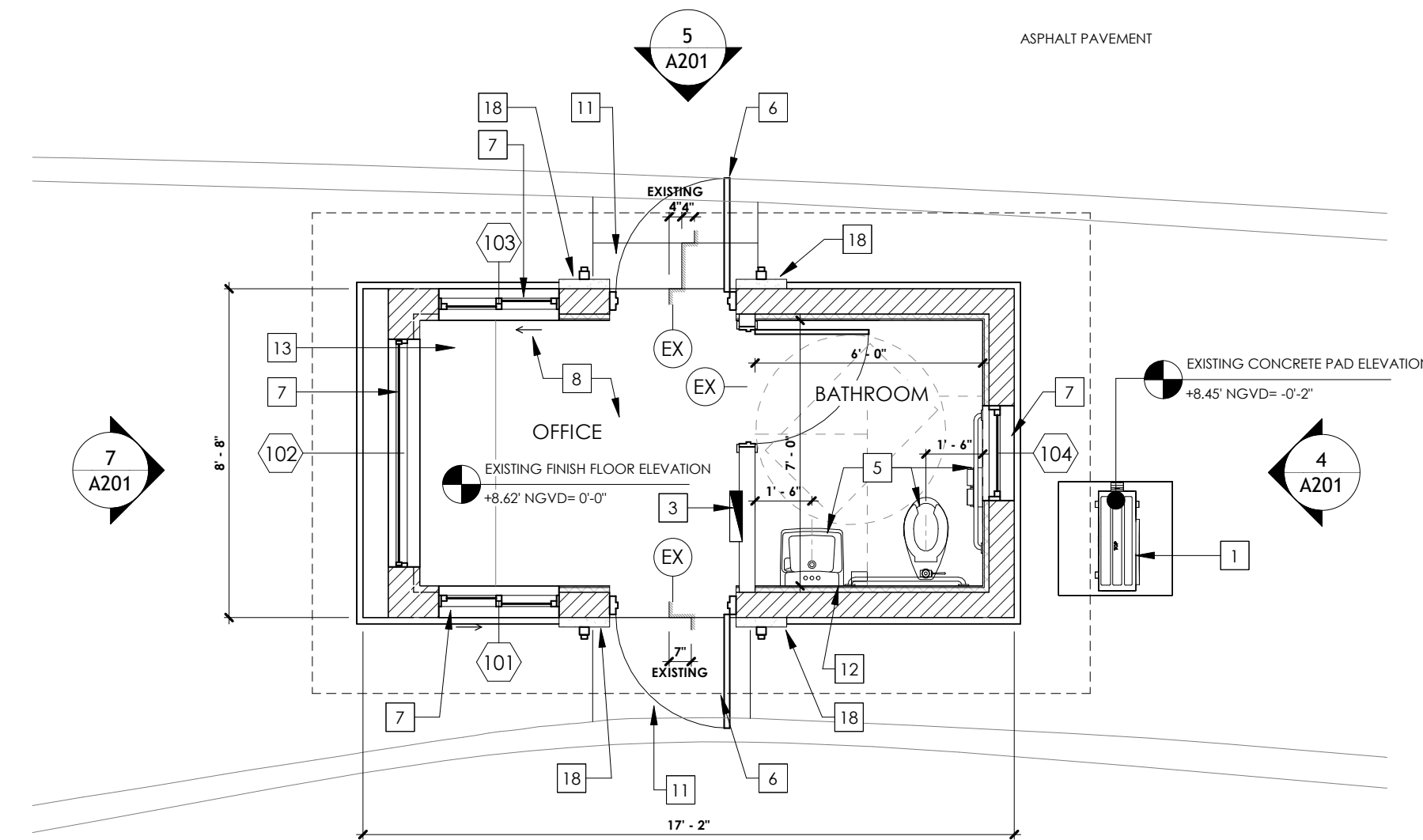


SIGNATURE:
RAUL CRUZ AR-101965

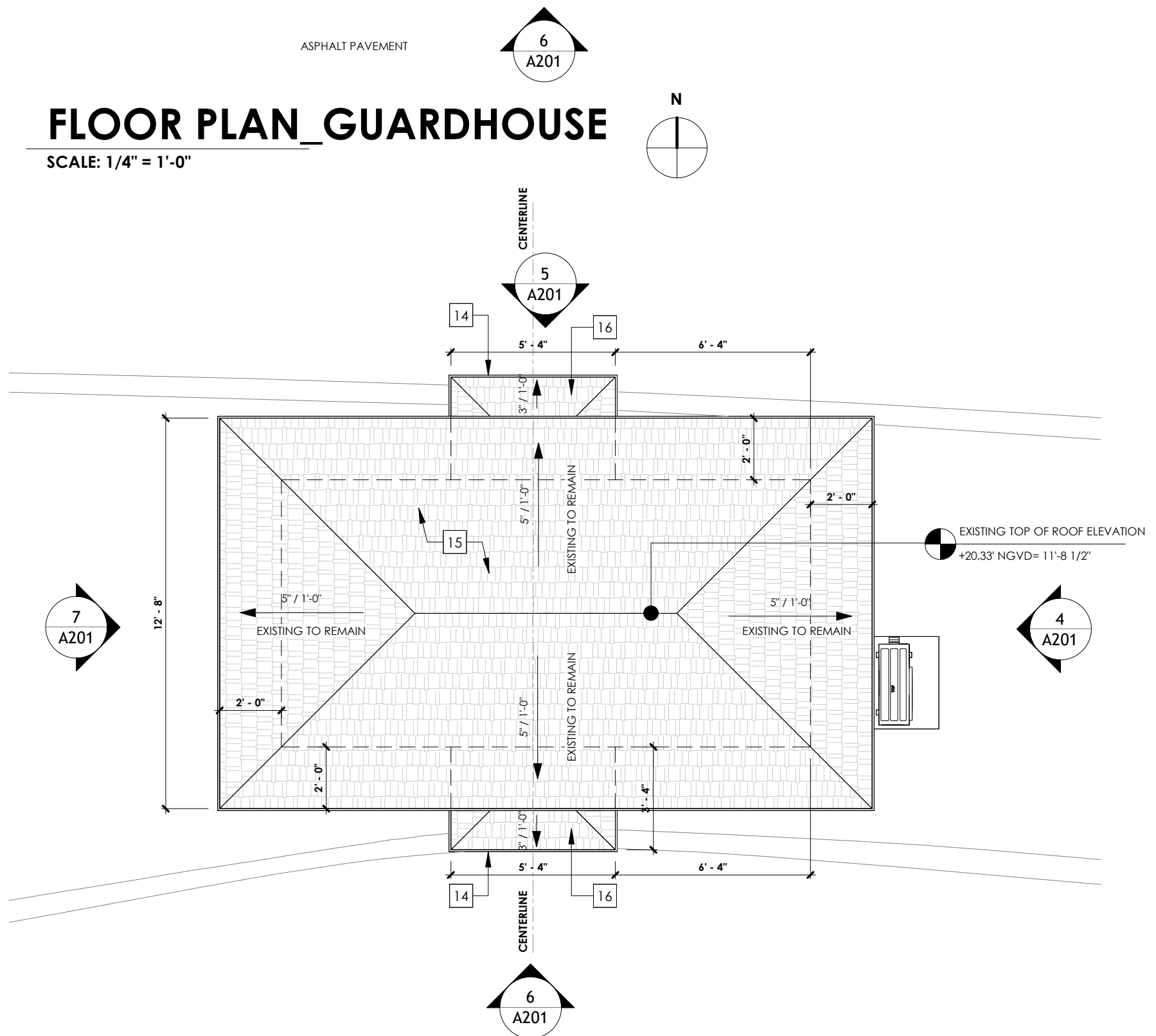
SHEET TITLE:
GUARDHOUSE

SCALE: 1/4" = 1'-0"

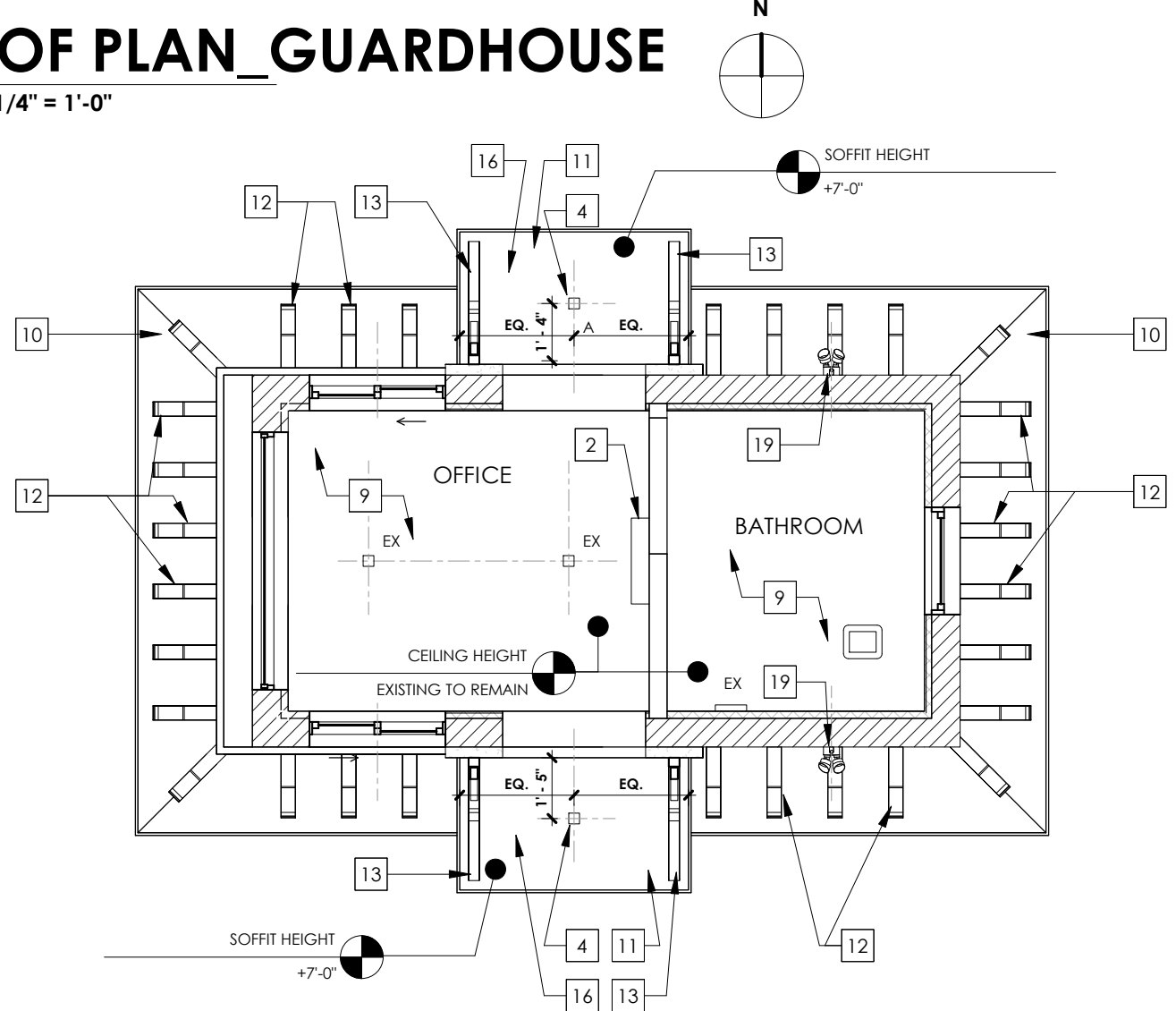
SHEET No.:
A201



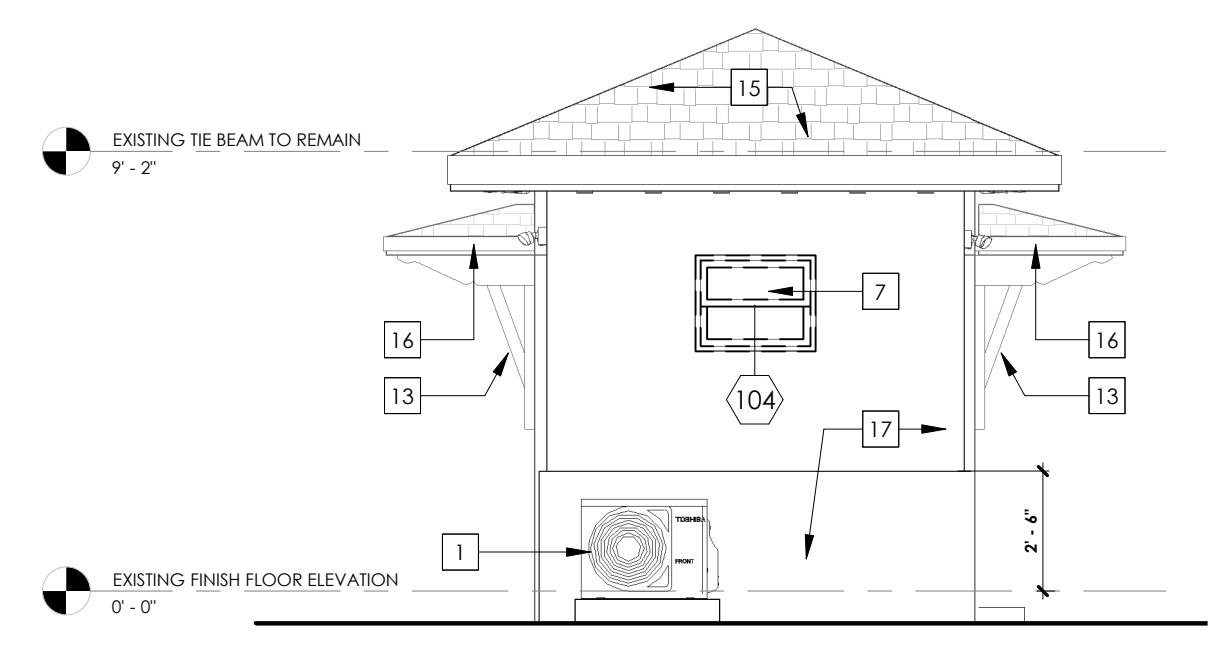
1 FLOOR PLAN_GUARDHOUSE
 SCALE: 1/4" = 1'-0"



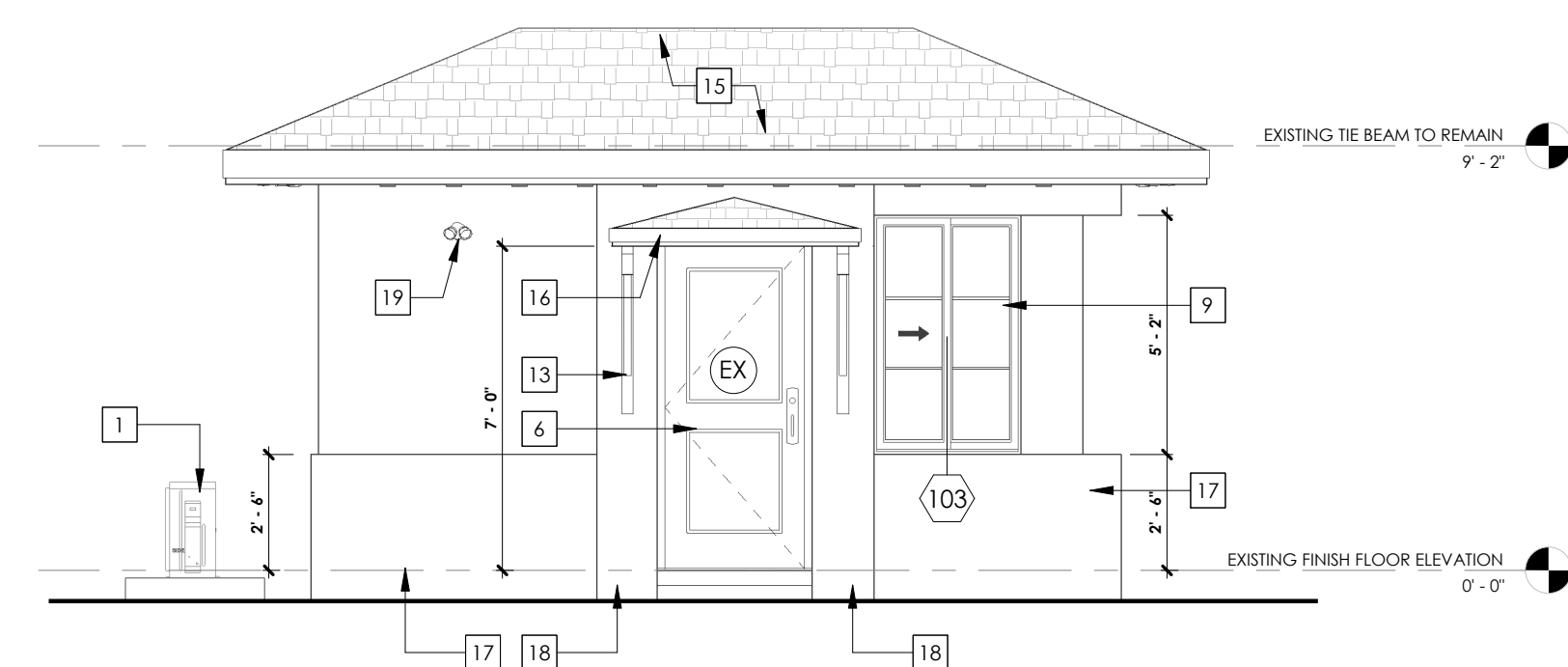
2 ROOF PLAN_GUARDHOUSE
 SCALE: 1/4" = 1'-0"



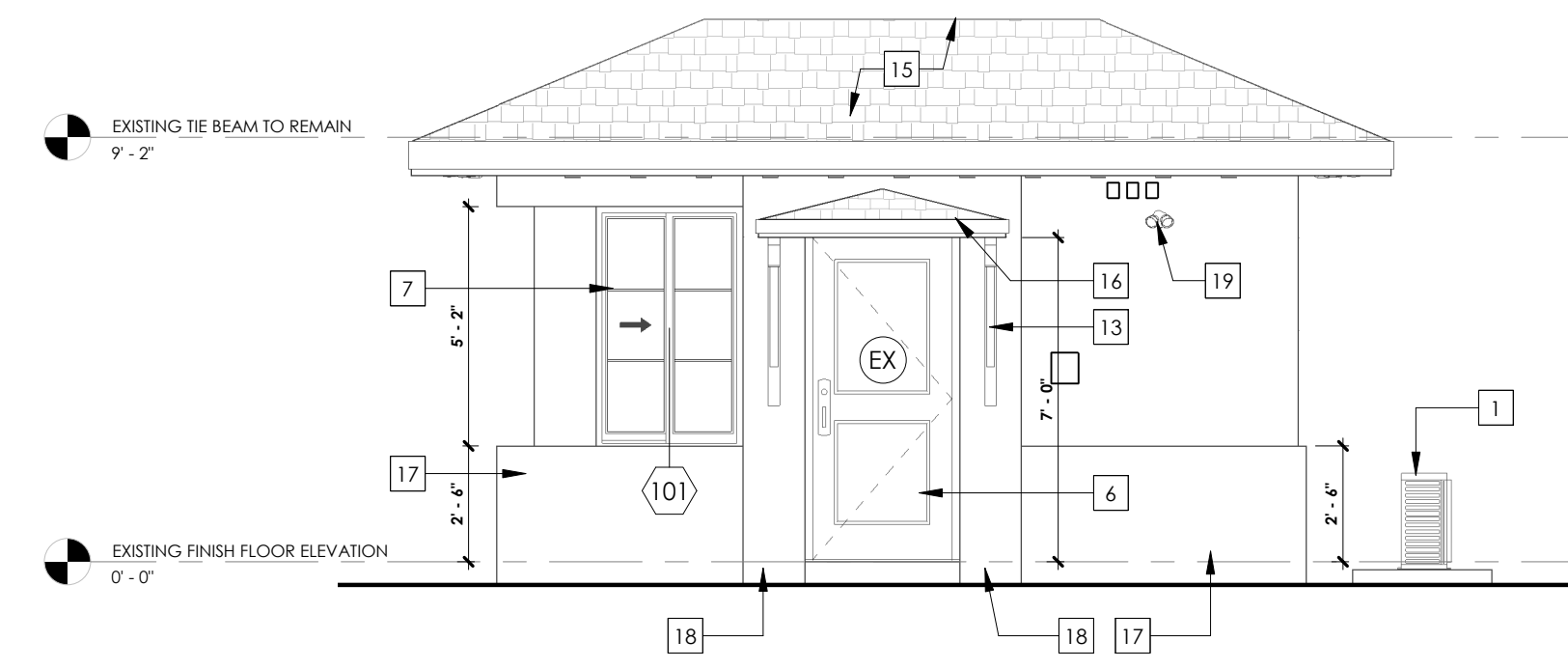
3 REFLECTED CEILING PLAN_GUARDHOUSE
 SCALE: 1/4" = 1'-0"



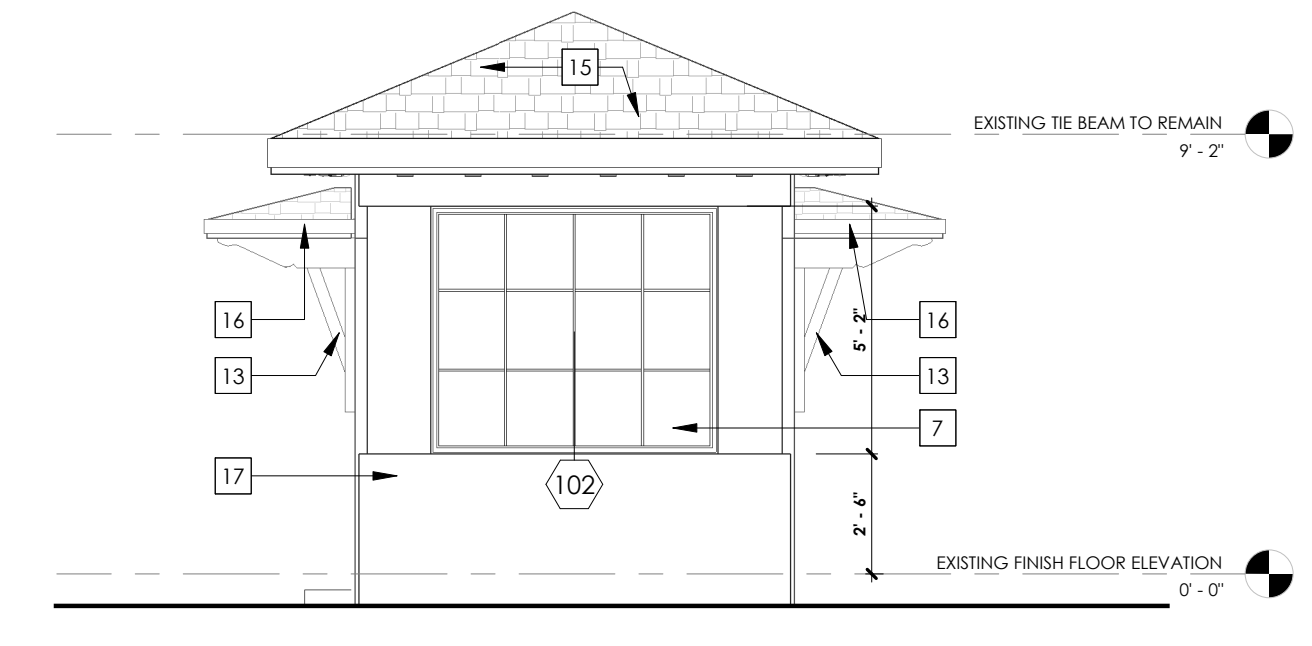
4 EAST ELEVATION_GUARDHOUSE
 SCALE: 1/4" = 1'-0"



5 NORTH ELEVATION_GUARDHOUSE
 SCALE: 1/4" = 1'-0"



6 SOUTH ELEVATION_GUARDHOUSE
 SCALE: 1/4" = 1'-0"



7 WEST ELEVATION_GUARDHOUSE
 SCALE: 1/4" = 1'-0"

NOTES

- ALL GLASS USED SHALL BE CAT. II SAFETY GLASS.
- PROVIDE DUROCK AT ALL INTERIOR STONE OR TILE AREA INSTALLATION.
- GENERAL CONTRACTOR SHALL FOLLOW THE TILE COUNCIL OF NORTH AMERICA INSTALLATION GUIDELINES FOR ALL TILE AND STONE INSTALLATION THROUGHOUT. COEFFICIENT OF FRICTION FOR WET INTERIOR TILES SHALL BE 0.42 PER THE TILE COUNCIL OF NORTH AMERICA.
- NEW PLUMBING FIXTURES ARE SHOWN FOR LOCATION PURPOSES ONLY. PLUMBING FIXTURE SELECTION SHALL BE COORDINATED BY GENERAL CONTRACTOR WITH OWNER.
- GC IS RESPONSIBLE FOR COORDINATING ALL WIRING/DATA WITH MILLWORK MANUFACTURER.
- NO SUBSTITUTIONS ALLOWED, UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
- ANY DISCOVERED FIELD CONDITIONS REQUIRING DEVIATIONS FROM THESE DOCUMENTS MUST BE SUBMITTED TO THE A/E BY RFI FROM THE GENERAL CONTRACTOR FOR A/E RESOLUTION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEVIATIONS & IS AT FURTHER RISK IF DEVIATIONS ARE DONE WITHOUT WRITTEN A/E ACCEPTANCE.
- REFER TO MEP DRAWINGS FOR OUTLET AND SWITCH INFORMATION.
- GENERAL CONTRACTOR AND SHELL CONTRACTOR SHALL COORDINATE PROFILES OF ALL COLUMNS AND BEAMS BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS. SHALL ANY DISCREPANCIES BE DISCOVERED, CONTRACTOR SHALL NOTIFY TO ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.
- FOAM PLASTIC OR FOAM PLASTIC CORES USED AS A COMPONENT IN MANUFACTURED ASSEMBLIES USED IN BUILDING CONSTRUCTION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 AND SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 WHEN TESTED IN THE MAXIMUM THICKNESS AND DENSITY INTENDED FOR USE IN ACCORDANCE WITH ASTM E84 OR UL 723. FBC 316 1.1.
- FIRE BLOCKING SHALL BE PROVIDED IN WALLS EVERY 10' HORIZONTALLY AND AT CEILINGS/FLOORS LEVEL, INTERCONNECTIONS, BETWEEN STAIR STRINGERS, AT OPENINGS, AT FLOOR JOISTS, AROUND POCKET DOORS. FBC 302.11(1-6)
- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450 AS PER ASTM E84 OR UL 723. 2023 FBC, 8TH EDITION SECTION R302.9.
- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS AND VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILINGASSEMBLIES, WALL ASSEMBLIES,CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHERE TESTED IN ACCOORDANCE WITH ASTM E84 OR UL 723. 2023 FBC, 8TH EDITION SECTION R302.10.
- NEW ROOFING SHALL BE UNDER A SEPARATE PERMIT
- FIBER-CEMENT, FIBER-MAT REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS AND FIBER-REINFORCED GYPSUM BACKERS, PER STANDARDS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS -FBC 702.4.2
- ALL FINISH ON G.W.B. CEILING SHALL BE SMOOTH LEVEL (5)
- ALL ELECTRICAL CONDUIT RUNS FOR EXTERIOR LIGHTING SHALL BE CONCEALED
- REFER TO ELECTRICAL DRAWINGS FOR SMOKE DETECTOR LOCATIONS. DETECTORS SHALL BE SMOKE AND CARBON MONOXIDE COMBINATION.
- ALL LIGHTS FIXTURES TO BE SELECT BY OWNERS AND INSTALLED BY GENERAL CONTRACTOR

WALL LEGEND

- EXISTING EXTERIOR CMU WALL WITH NEW OR EXISTING INTERIOR METAL FURRING AND GYPSUM WALL BOARD OR DUROCK. REFER TO WALL TYPES
- EXISTING INTERIOR PARTITION

KEY NOTES

- 1 EXISTING HVAC COMPRESSOR OVER EXISTING CONCRETE PAD TO REMAIN
- 2 EXISTING INTERIOR HVAC WALL MOUNTED SPLIT UNIT TO REMAIN
- 3 EXISTING ELECTRICAL PANEL TO REMAIN. REFER TO ELECTRICAL DRAWINGS
- 4 NEW EXTERIOR SOFFIT MOUNTED LIGHT
- 5 EXISTING PLUMBING FIXTURES TO REMAIN
- 6 EXISTING DOOR TO REMAIN
- 7 NEW IMPACT RATED WINDOW IN EXISTING OPENING. REFER TO WINDOW SCHEDULE AND ELEVATIONS
- 8 NEW FINISH FLOOR MATERIAL OVER EXISTING SLAB ON GRADE
- 9 EXISTING CEILING TO REMAIN
- 10 EXISTING WOOD SOFFIT TO REMAIN AND REPAIRED AS NEEDED
- 11 NEW WOOD SOFFIT TO MATCH EXISTING
- 12 EXISTING WOOD RAFTERS TO REMAIN
- 13 NEW WOOD BRACKETS. REFER TO DETAILS
- 14 PROVIDE NEW FASCIA. REFER TO OVERHANG DETAIL
- 15 EXISTING ROOF STRUCTURE TO REMAIN, NEW CONCRETE FLAT TILE TO BE INSTALLED
- 16 NEW ENTRY ROOF STRUCTURE WITH CONCRETE FLAT TILE TO BE INSTALLED
- 17 NEW SMOOTH STUCCO OVER EXISTING EXTERIOR WALL (TYPICAL)
- 18 PROVIDE NEW FRAME WITH SMOOTH STUCCO FINISH
- 19 RELOCATED EXTERIOR LIGHT, REFER TO ELECTRICAL DRAWINGS



© 2024 - NOMAD ARCHITECTURAL STUDIO, LLC
THE DESIGN AND DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED UNDER THE COPYRIGHT PROTECTION ACT.
ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED, DUPLICATED &/OR USED WITH THE WRITTEN CONSENT OF NOMAD ARCHITECTURAL STUDIO, LLC.

OAK RIDGE ESTATES II ENTRANCE IMPROVEMENTS

9600 SW 124TH STREET,
MIAMI, FLORIDA 33176
OAK RIDGE ASSOCIATION

PROJECT NAME

PROPERTY ADDRESS

OWNER INFORMATION

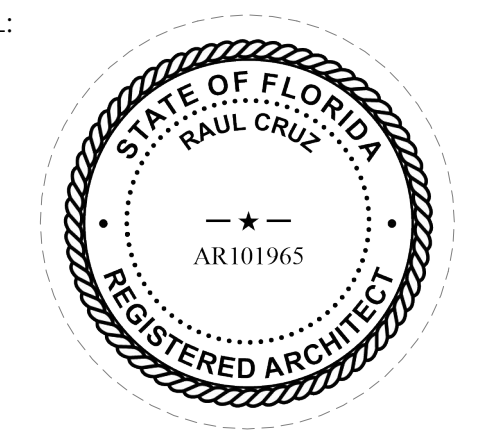
ENTRANCE FEATURES

ISSUE DATE: 10.18.2024
PROJECT No.: 23-030
DRAWN BY: RAUL CRUZ
APPROVED BY: RAUL CRUZ

REVISIONS:

No.	Description	Date

SEAL:



SIGNATURE:
RAUL CRUZ AR-101965

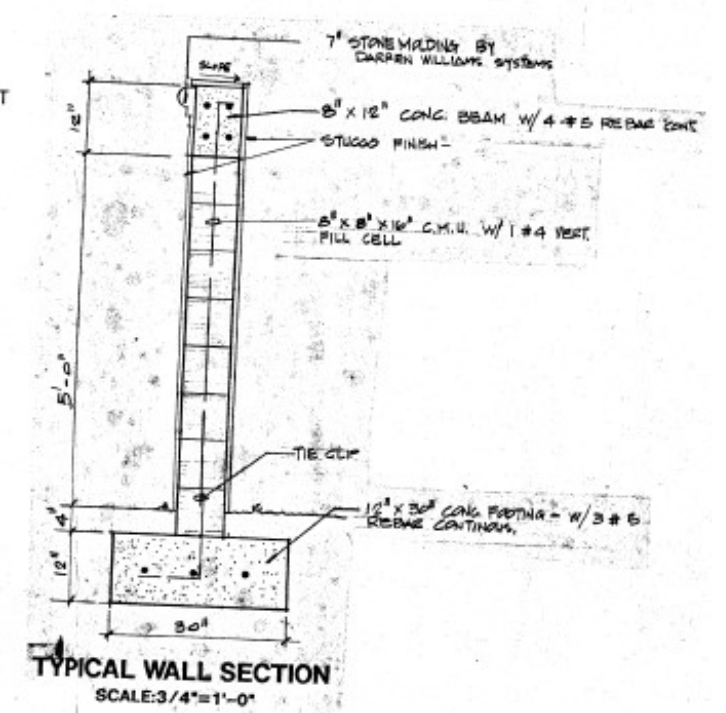
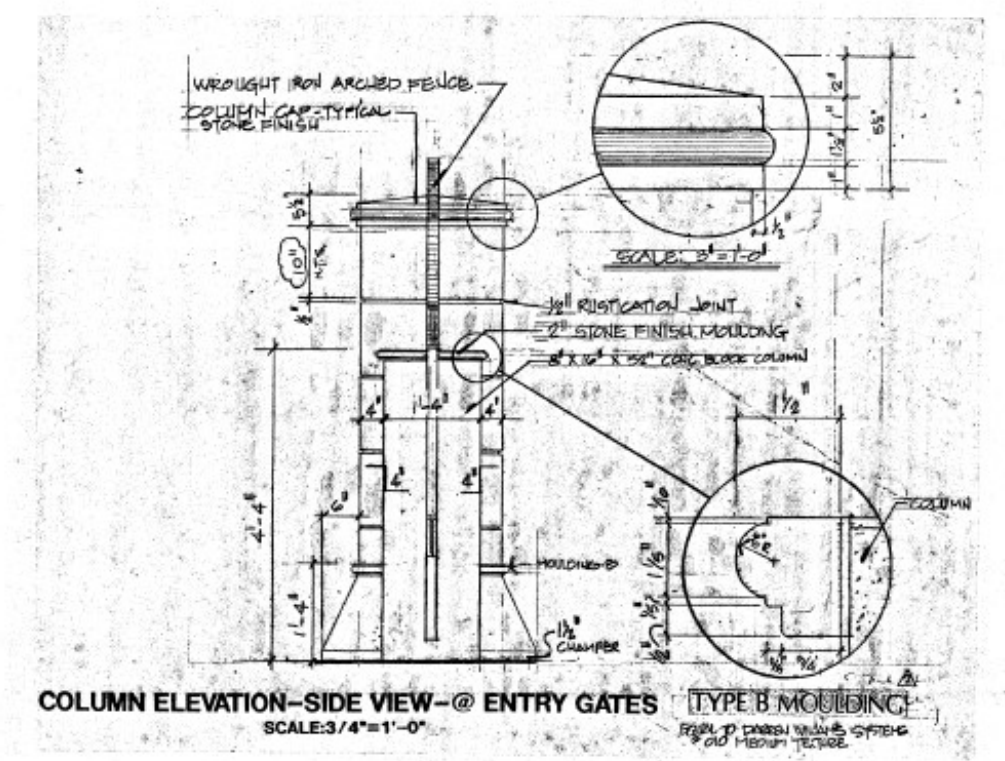
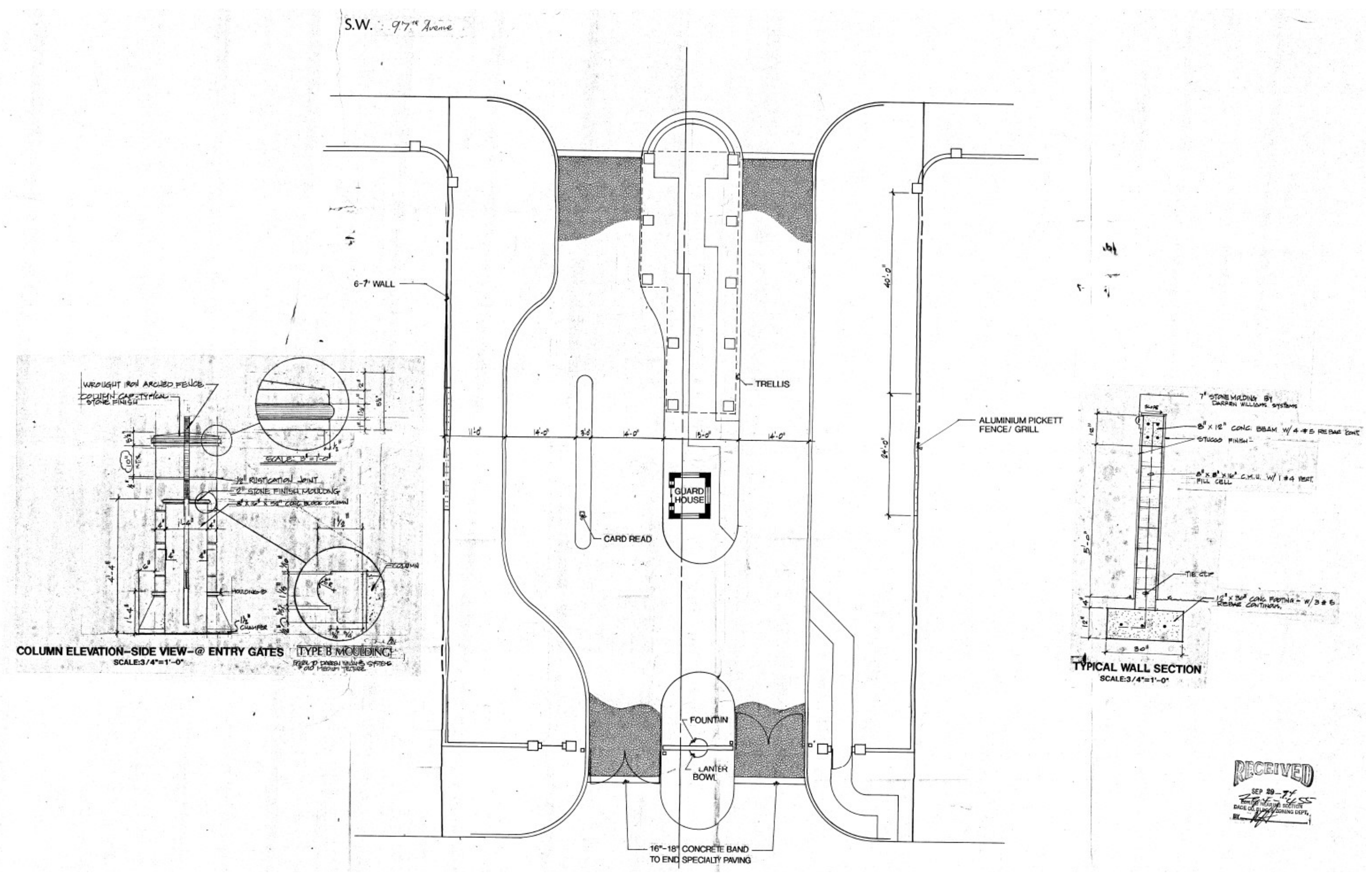
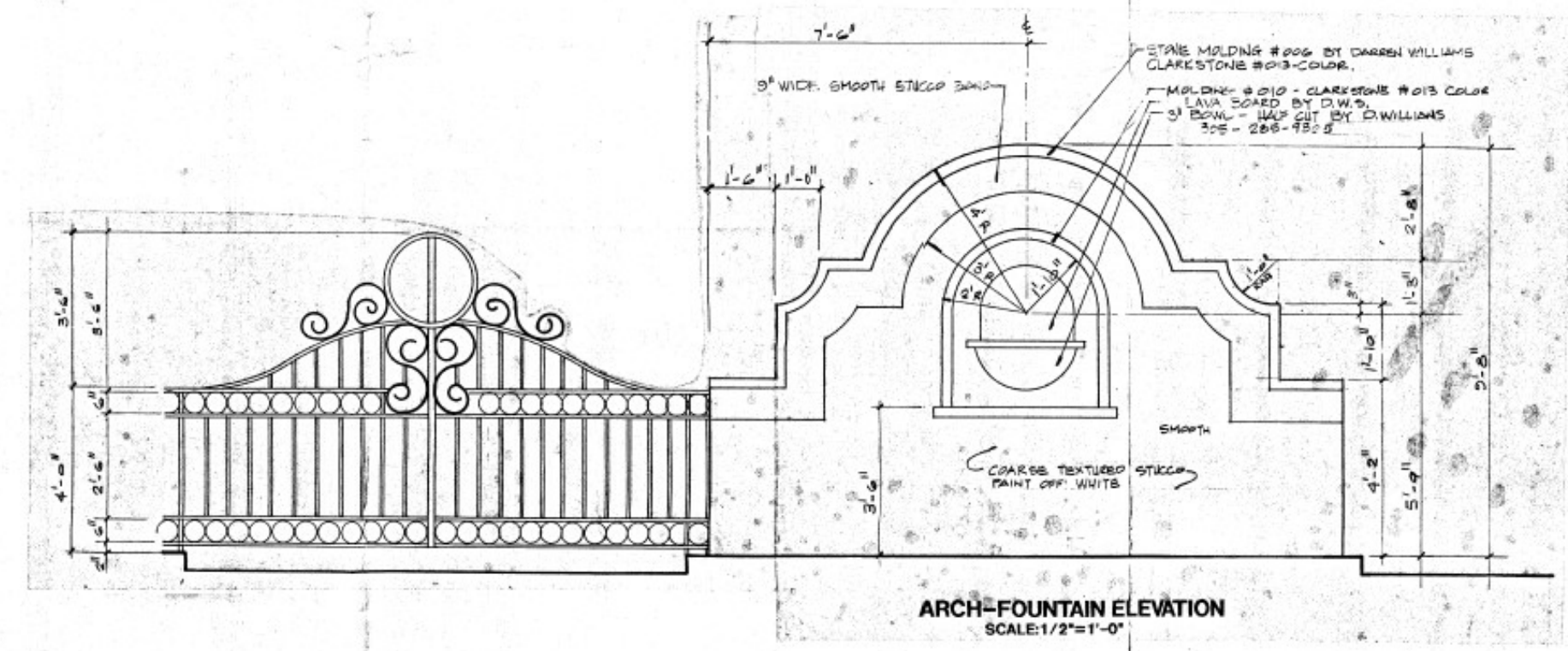
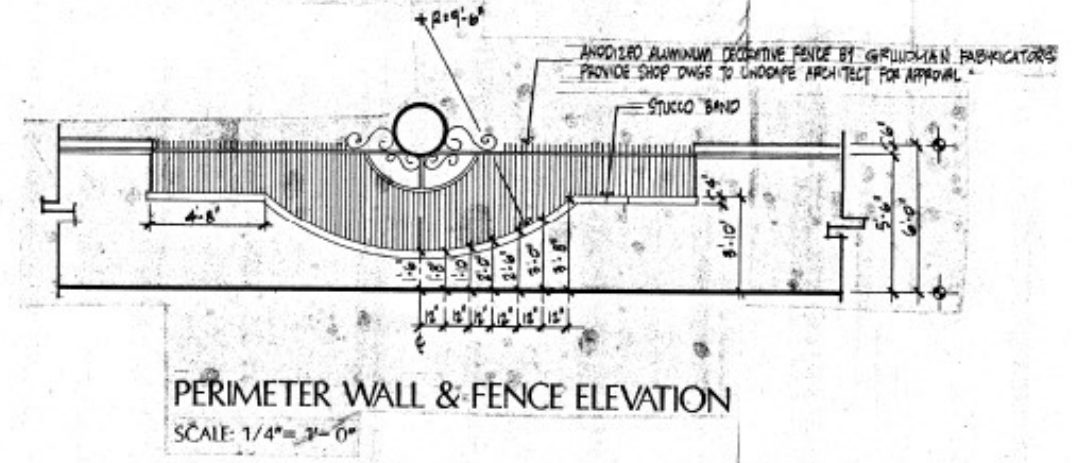
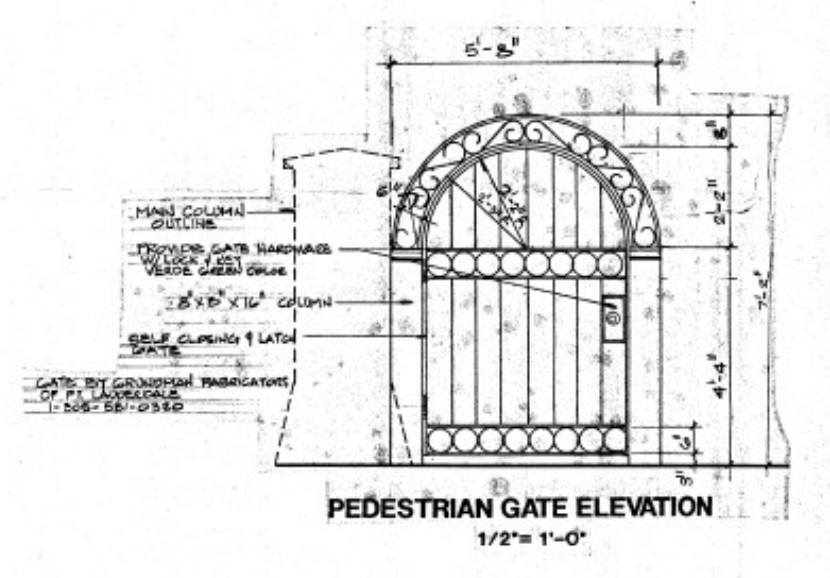
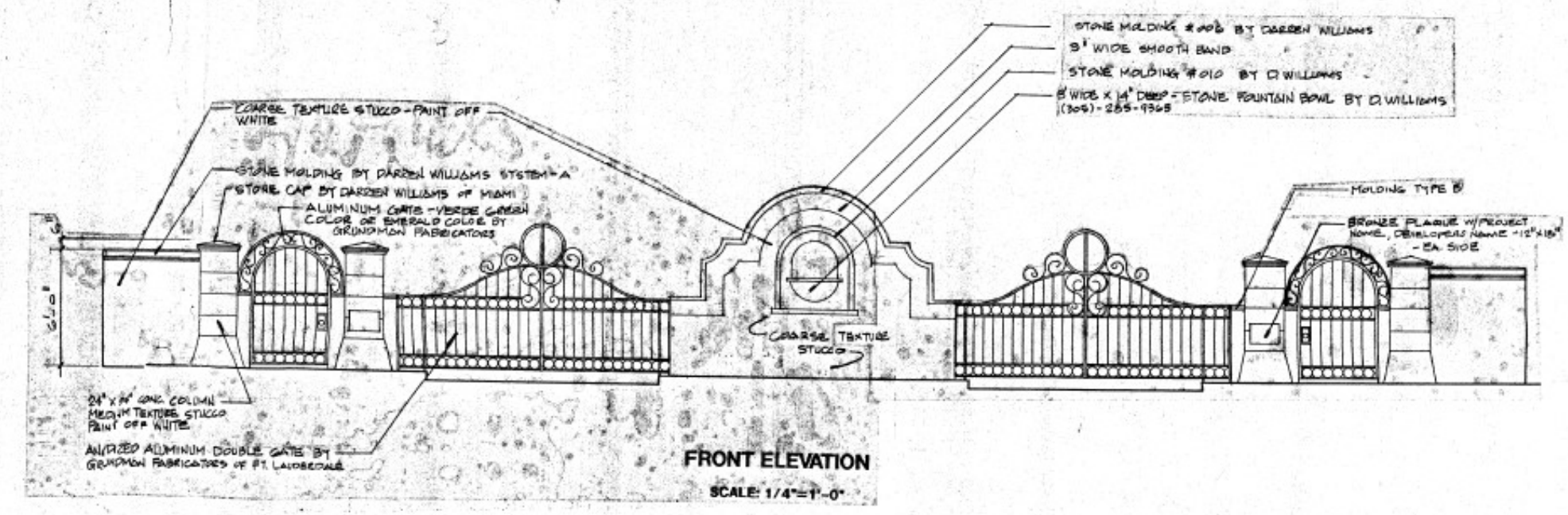
SHEET TITLE:

MICROFILMS

SCALE:

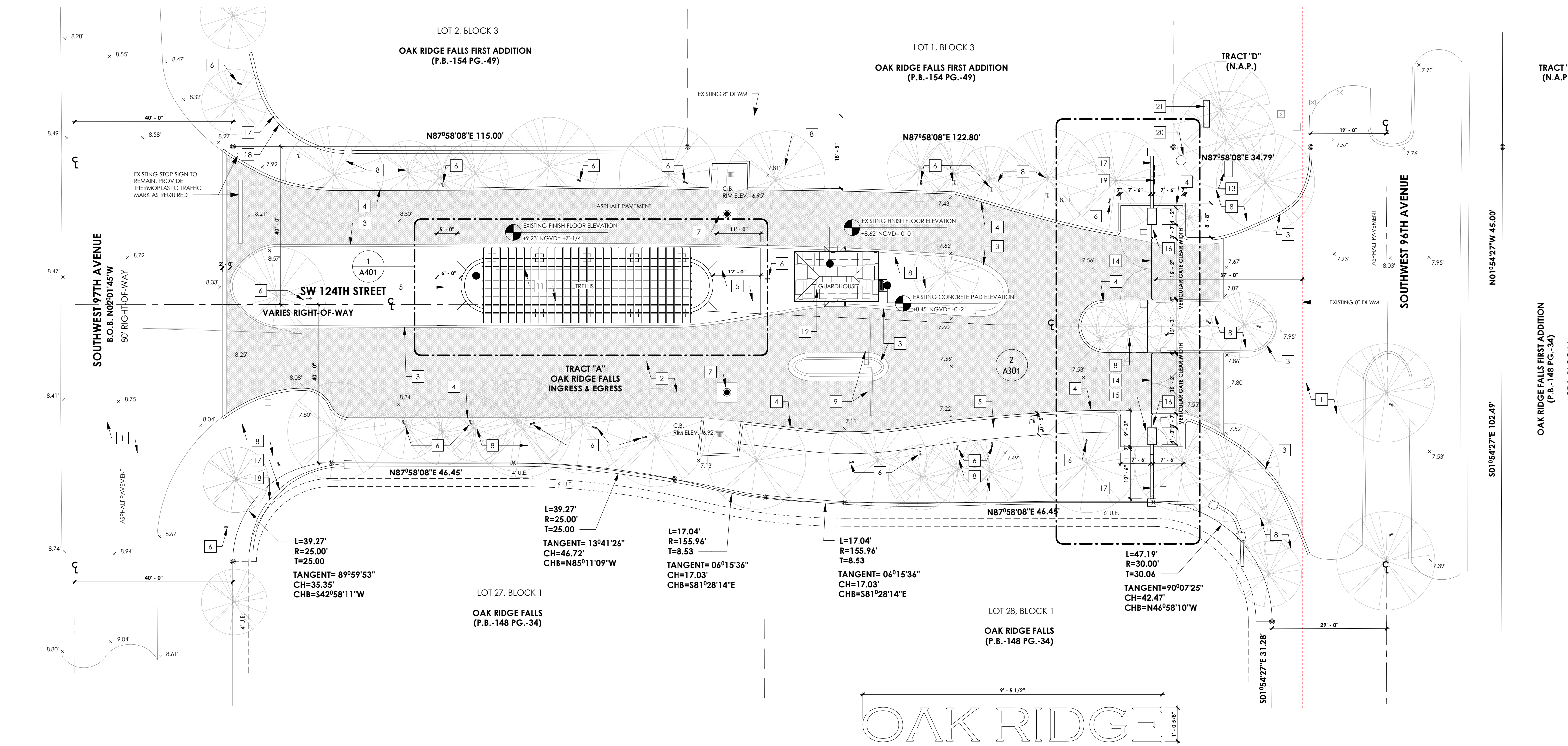
SHEET No.:

A002



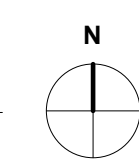


© 2024 - NOMAD ARCHITECTURAL STUDIO, LLC
 THE DESIGN AND DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED UNDER THE COPYRIGHT PROTECTION ACT.
 ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED, DUPLICATED, OR USED WITH THE WRITTEN CONSENT OF NOMAD ARCHITECTURAL STUDIO, LLC.



1 SITE PLAN

SCALE: 1/16" = 1'-0"



OAK RIDGE

SIGN DETAIL

SCALE: 1/2" = 1'-0" *1/2" METAL SIGN FONT: CENTURY GOTHIC LIGHT

PROPERTY DATA

ADDRESS: RIGHT-OF-WAY OF ASSOCIATION ENTRANCE SW 124TH STREET BETWEEN 96TH AND 97TH AVENUE, MIAMI, FLORIDA 33176
FOLIO NUMBER: 30-5016-061-0450
ZONING: EU-M SINGLE FAMILY ESTATE MODIFIED USE ZONING DISTRICT

SCOPE OF WORK

THIS BUILDING PERMIT IS FOR THE REMODELING OF THE ENTRANCE TO OAK RIDGE ASSOCIATION. THE SCOPE OF WORK IS LISTED BELOW:
 • REPAIR OF EXISTING ENTRANCE ROAD (SW 124TH STREET)
 • REMODELING OF GUARDHOUSE
 • REPLACEMENT OF EXISTING VEHICULAR AND PEDESTRIAN GATES

FLOOD LEGEND

- FLOOD ZONE: AH BASE FLOOD ELEVATION: 10.0' NGVD
- MAP & PANEL NUMBER: 120635L0461 COMMUNITY NUMBER: 120635
- HIGHEST CROWN OF ROAD ELEV.: +9.04' (NGVD)
- LOWEST CROWN OF ROAD ELEV.: +7.41' (NGVD) (CROWN OF ROAD ELEVATION WAS TAKEN FROM THE ATTACHED SURVEY)
- THE ATTACHED CERTIFIED SURVEY: JOHN IBARRA PSM LIC. # 5204 SURVEYORS NAME
- HIGHEST EXISTING FINISH FLOOR ELEVATION: +8.62' (NGVD)
- LOWEST FLOOR ELEVATION: +8.62' (NGVD)
- LOWEST ELEVATION OF EQUIPMENT SERVICING THE BUILDING: +8.45' (NGVD)
- 0'-0" = +8.62' NGVD (EXISTING GUARDHOUSE FLOOR ELEVATION TO REMAIN)

SITE GENERAL NOTES

- GENERAL CONTRACTOR SHALL FILL SITE AS REQUIRED TO MEET ALL NEW SITE ELEVATIONS

SITE INVESTIGATION NOTE

BEFORE BIDDING, CONTRACTOR SHALL PERFORM A THOROUGH INVESTIGATION OF THE ACTUAL CONDITIONS AT THE JOB SITE, AND INCLUDE ALL WORK REQUIRED TO GET THE JOB DONE AS INDICATED ON DRAWINGS OR NECESSITATED BY THE CONSTRUCTION, PERFORM ALL SUCH WORK WITHOUT ADDITION TO THE CONTRACT COST.

KEY NOTES

- EXISTING ASPHALT PAVEMENT TO REMAIN
- NEW CONCRETE PAVERS ROAD
- CONCRETE CURB TO BE REPAIR AS NEEDED
- NEW CONCRETE CURB, REFER TO DETAILS
- NEW CONCRETE FINISHED WALKWAY
- EXISTING EXTERIOR LIGHT ON GROUND, BULBS TO BE REPLACED AS NEEDED.
- MIAMI DADE MANHOLE TYPE J-7T, REFER TO CIVIL DRAWINGS
- EXISTING TREES AND LANDSCAPE AREA TO REMAIN
- BARRIER ARM GATE TO REMAIN
- NOT USED
- EXISTING TRELLIS UNDER A SEPARATE PERMIT, REFER TO SHEET A401 FOR DETAILS
- GUARDHOUSE, REFER TO SHEET A201 FOR DETAILS
- EXISTING GENERATOR TO REMAIN
- NEW AUTOMATIC VEHICULAR GATE, PROVIDE KNOX BOX AS REQUIRED, REFER TO SHEET A301 FOR DETAILS
- NEW PEDESTRIAN GATE, REFER TO SHEET A301 FOR DETAILS
- NEW FENCE, REFER TO SHEET A301 FOR DETAILS
- EXISTING WALL TO BE REFINISHED WITH SMOOTH STUCCO AND PAINTED USING EXTERIOR PAINT, COLOR TO BE SELECTED BY OWNER
- REPLACE EXISTING OAK RIDGE SIGN, REFER TO DETAIL
- EXISTING ELECTRICAL PANELS AND METER TO REMAIN
- EXISTING IRRIGATION PUMP TO REMAIN
- EXISTING GAS TANK TO REMAIN

LANDSCAPE NOTES

- PLANT MATERIALS SHALL BE INSTALLED IN SOIL CONDITIONS THAT ARE CONDUCTIVE TO THE PROPER GROWTH OF THE PLANT MATERIAL. SOIL IN PLANTING AREAS SHALL BE LOOSE, PERMEABLE, FRIABLE, AND FREE OF LIMESTONE AND OTHER CONSTRUCTION MATERIALS. OFF-STREET PARKING ARE BASE MATERIAL, ROCK, NOXIOUS WEEDS, GRASSES, HARD PAN, CLAY, OR OTHER DEBRIS. IT IS RECOMMENDED THAT SUCH MATERIALS BE REMOVED TO A DEPTH OF TWO AND ONE-HALF FEET FOR THE WELL-BEING OF PLANT MATERIALS. REQUIRED CANOPY TREES, ACCENT TREES, PALM TREES, AND SHRUBS SHALL BE PLANTED ON GRADES NOT EXCEEDING 3:1.
- NO CANOPY TREES, PALM TREES, OR SHRUBS SHALL BE PLANTED WITHIN A PUBLIC DRAINAGE OR UTILITY EASEMENT.
- THE SOIL SURFACE OF THE LAND AREA NOT COVERED BY STRUCTURES OR HARDSCAPES FEATURES SHALL BE COVERED WITH SOD OR PLANTING BEDS CONTAINING CANOPY TREES, ACCENT TRESS, PALM TREES, SHRUBS, GROUNDCOVER, OR ANY COMBINATION THEREOF.
- A TWO-INCH MINIMUM LAYER OF ORGANIC MULCH, MEASURED AFTER WATERING-IN, SHALL BE PLACED AND MAINTAINED AROUND ALL NEWLY INSTALLED CANOPY TREES, ACCENT TREES, PALM TREES, AND SHRUBS. A TWO-INCH MINIMUM LAYER OF ORGANIC MULCH, MEASURED AFTER WATERING-IN, SHALL BE PLACED AROUND ALL NEWLY INSTALLED GROUNDCOVER PLANTS SO THAT BARE AREAS OF SOD ARE NOT EXPOSED; HOWEVER, THE MULCH AROUND GROUNDCOVER PLANTS IS NOT REQUIRED TO BE MAINTAINED AFTER THE GROUNDCOVER BECOMES ESTABLISHED, EXCEPT AS OTHERWISE PROVIDED IN THESE REGULATIONS. EACH CANOPY TREE, ACCENT TREE, AND PALM TREE SHALL HAVE ORGANIC MULCH NO LESS THAN 36 INCHES BEYOND ITS TRUNK IN ALL DIRECTIONS; HOWEVER, THE MULCH SHALL BE KEPT AWAY FROM THE TRUNKS AND STEMS OF PLANTS SO AS TO AVOID CONDITIONS THAT MAY BE CONDUCTIVE TO COLLAR ROT, BASAL CANKER, OR OTHER FUNGI. THE USE OF CYPRESS OR CEDAR MULCH IS STRONGLY DISCOURAGED.
- THE RIGHT-OF-WAY FROM THE EDGE OF THE STREET PAVEMENT TO THE PROPERTY LINE SHALL BE PLANTED WITH SOD OR OTHER APPROVED GROUNDCOVERS.
- IRRIGATION SYSTEM IS NOT PROVIDED UNDER THIS PERMIT
- ALL PLANTS FURNISHED BY THE LANDSCAPE CONTRACTOR UNLESS OTHERWISE SPECIFIED SHALL BE FLORIDA NO. 1 OR BETTER, AND SHALL BE SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, PART 1 (3RD EDITION, 1975) BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES DIVISION OF THE PLANT INDUSTRY.
- ALL SHRUBS, AND GROUNDCOVERS SHALL BE GUARANTEED FOR 90 DAYS FROM DATE OF FINAL ACCEPTANCE. ALL TREES AND PALMS SHALL BE GUARANTEED FOR SIX MONTHS FROM DATE OF FINAL ACCEPTANCE.
- LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.

PROJECT NAME:

OAK RIDGE ESTATES II ENTRANCE IMPROVEMENTS

PROPERTY ADDRESS:

9600 SW 124TH STREET,
 MIAMI, FLORIDA 33176

OWNER INFORMATION:

OAK RIDGE ASSOCIATION

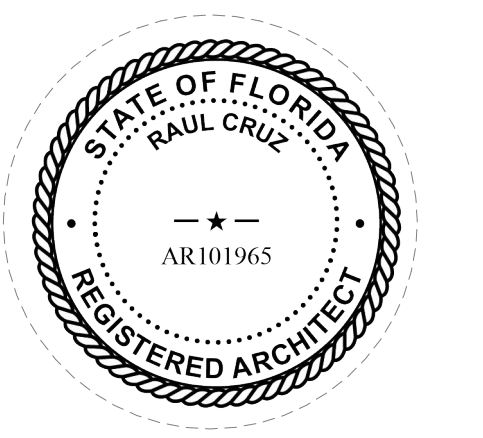
ENTRANCE FEATURES

ISSUE DATE: 10.18.2024
 PROJECT No.: 23-030
 DRAWN BY: RAUL CRUZ
 APPROVED BY: RAUL CRUZ

REVISIONS:

No.	Description	Date

SEAL:



SIGNATURE:
 RAUL CRUZ AR-101965

SHEET TITLE:

SITE PLAN

SCALE: As indicated
 SHEET No.:

A101



© 2024 - NOMAD ARCHITECTURAL STUDIO, LLC
 THE DESIGN AND DRAWINGS FOR THIS PROJECT ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED UNDER THE COPYRIGHT PROTECTION ACT.
 ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED, DUPLICATED &/OR USED WITH THE WRITTEN CONSENT OF NOMAD ARCHITECTURAL STUDIO, LLC.

OAK RIDGE ESTATES II ENTRANCE IMPROVEMENTS

9600 SW 124TH STREET,
 MIAMI, FLORIDA 33176
 OAK RIDGE ASSOCIATION

PROJECT NAME

PROPERTY ADDRESS

OWNER INFORMATION

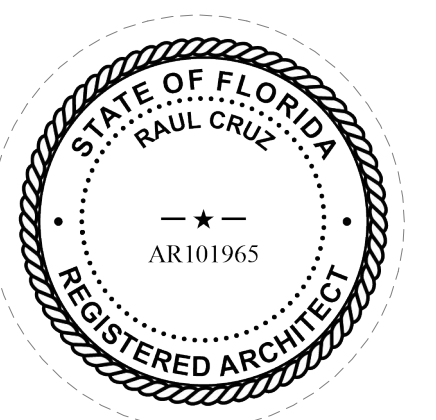
ENTRANCE FEATURES

ISSUE DATE: 10.18.2024
 PROJECT No.: 23-030
 DRAWN BY: RAUL CRUZ
 APPROVED BY: RAUL CRUZ

REVISIONS:

No.	Description	Date

SEAL:



SIGNATURE:
RAUL CRUZ AR-101965

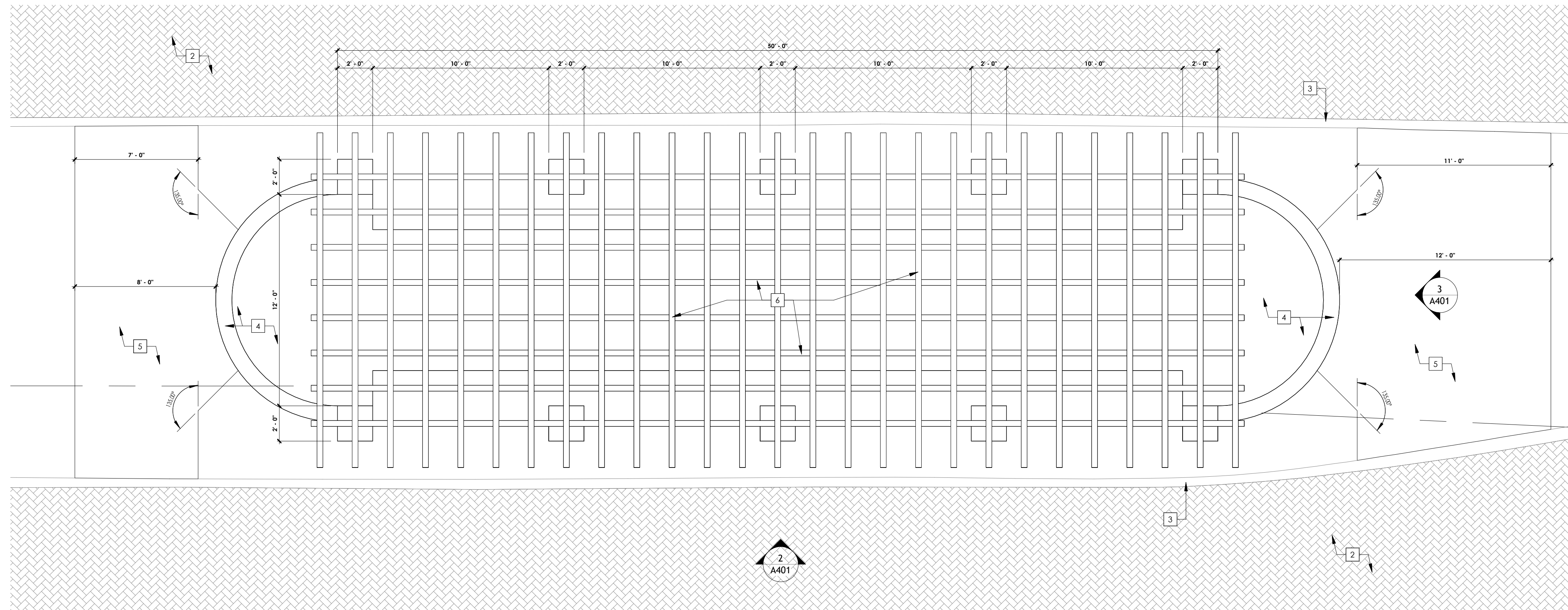
SHEET TITLE:

TRELLIS

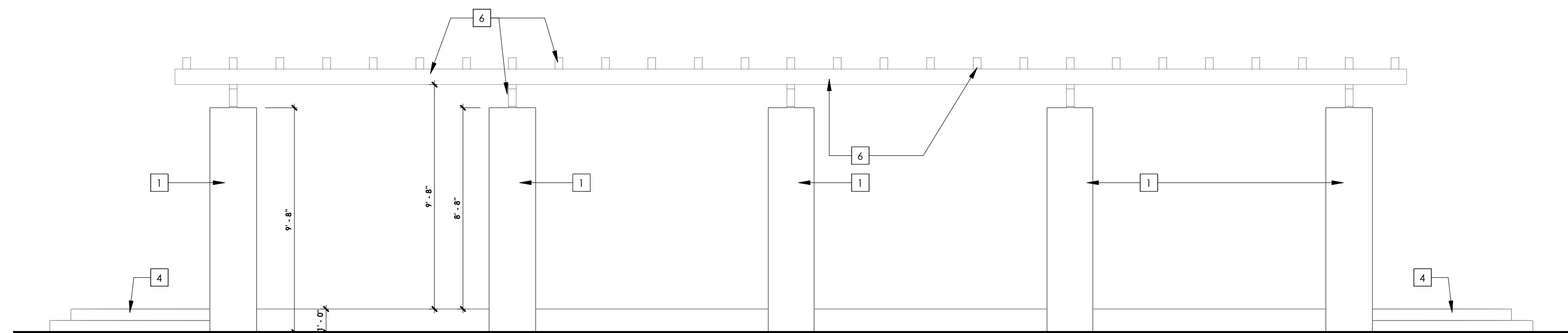
SCALE: 1/4" = 1'-0"

SHEET No.:

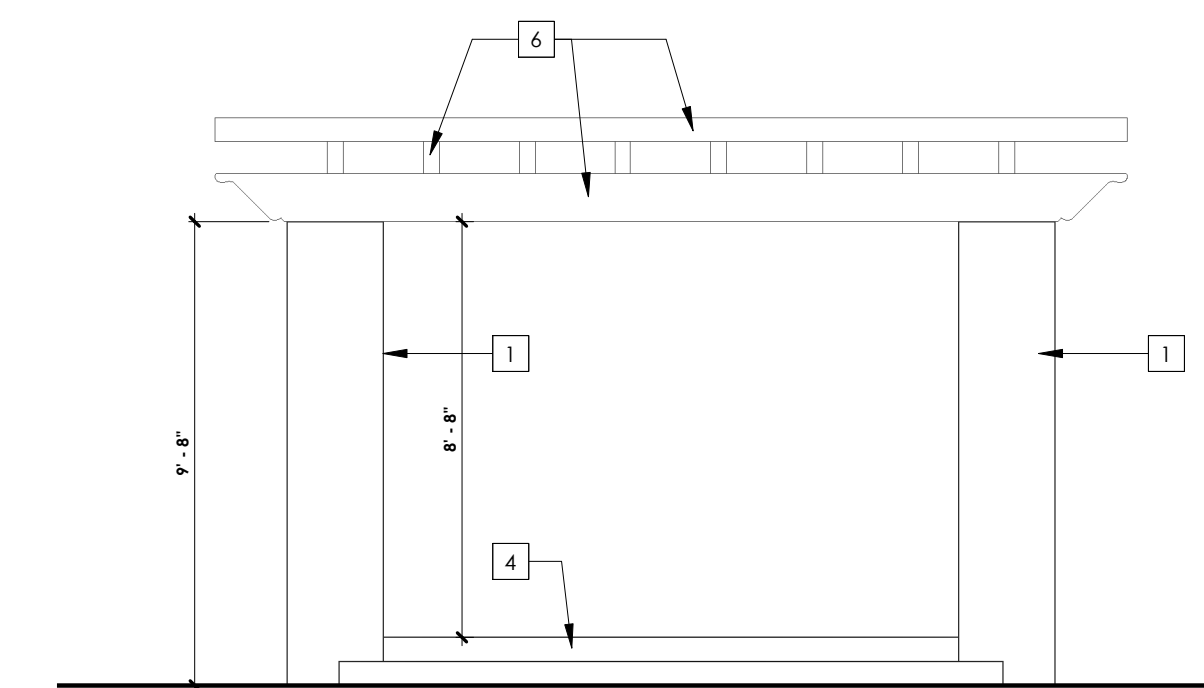
A401



1 ROOF PLAN_TRELLIS
 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION_TRELLIS
 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION_TRELLIS
 SCALE: 1/4" = 1'-0"

NOTES

- GENERAL CONTRACTOR SHALL FOLLOW THE TILE COUNCIL OF NORTH AMERICA INSTALLATION GUIDELINES FOR ALL TILE AND STONE INSTALLATION THROUGHOUT. COEFFICIENT OF FRICTION FOR WET INTERIOR TILES SHALL BE 0.42 PER THE TILE COUNCIL OF NORTH AMERICA.
- NO SUBSTITUTIONS ALLOWED, UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
- ANY DISCOVERED FIELD CONDITIONS REQUIRING DEVIATIONS FROM THESE DOCUMENTS MUST BE SUBMITTED TO THE A/E BY RFI FROM THE GENERAL CONTRACTOR FOR A/E RESOLUTION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEVIATIONS & IS AT FURTHER RISK IF DEVIATIONS ARE DONE WITHOUT WRITTEN A/E ACCEPTANCE.
- REFER TO MEP DRAWINGS FOR OUTLET AND SWITCH INFORMATION.
- GENERAL CONTRACTOR AND SHELL CONTRACTOR SHALL COORDINATE PROFILES OF ALL COLUMNS AND BEAMS BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS. SHALL ANY DISCREPANCIES BE DISCOVERED, CONTRACTOR SHALL NOTIFY ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.
- ALL LIGHTS FIXTURES TO BE SELECT BY OWNERS AND INSTALLED BY GENERAL CONTRACTOR
- TRELLIS WORK UNDER A SEPARATE PERMIT

KEY NOTES

- SMOOTH STUCCO FINISH
- NEW CONCRETE PAVERS ROAD
- CONCRETE CURB TO BE REPAIRED OR REPLACED AS NEEDED
- EXISTING CONCRETE FINISH FLOOR TO REMAIN
- NEW CONCRETE FINISHED WALKWAY
- PROVIDE EXTERIOR PAINT FOR EXISTING AND REPLACED WOOD MEMBERS (TYPICAL)